

Tab B

Hearst Park and Pool

3950 37th Street, NW Washington, DC 20008

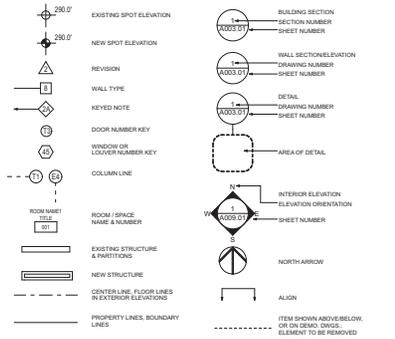
Department of General Services
Department of Parks & Recreation

Public Pool House

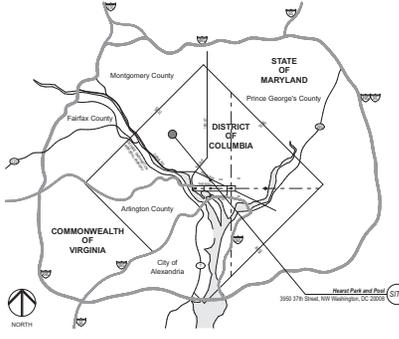
Building Permit

03/20/2019

SYMBOLS



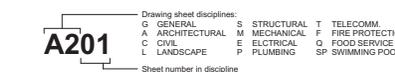
LOCATION MAP



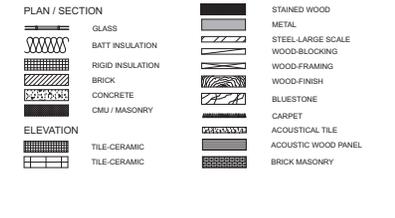
GENERAL NOTES

- Do not scale drawings. Where dimensions between small scale and detail drawings differ, detail drawing dimensions shall govern. Field verify all dimensions. Notify architect of any discrepancies.
- Dimensions are to face of finished surface or to column centerlines, unless noted / indicated otherwise (u.n.o.). Masonry dimensions are nominal and are given to the face. Dimensions shown in normal sizes are for the purpose of describing the construction and are not to be taken as the actual size of the component.
- Perform all work in accordance with the applicable codes of the District of Columbia.
- Perform all work in accordance with the accepted standards of the trades. Install all manufactured items in strict accordance with manufacturer's written instructions and recommendations, complete with all plumbing, mechanical and electrical connections, as required for a complete installation.
- Field verify existing conditions prior to starting the work. Should the contractor find, after a visit to the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in or among the drawings, or be in doubt as to their meaning, he/she should immediately notify the architect in writing before proceeding.
- Where the words "match," "repeal," "replace" and the like are used, special care shall be taken to ensure that colors, textures and finishes of disturbed areas shall match in all respects. Repeal is defined as remove existing and install new, including all appropriate electrical connections and with matching or compatible equipment or material as shown, specified or required for complete installation.
- Demolition shall generally be arranged to agree with the accomplishment of work in coordination with the work of other trades. Examine all drawings for additional requirements.
- Patch all holes in walls and floors, and repair or replace all existing items damaged by the work in the area affected by the work, whether or not specifically noted on the drawings to be repaired. Repaired areas are to be painted from top to ceiling and from corner to corner.
- All interior insulation shall be non-combustible.
- Isolate dissimilar metals from contact with one another to prevent electrolytic action.
- Install access panels for valves, dampers, controls, etc. and as otherwise indicated.
- Run all ducts, conduit and piping concealed, u.n.o.
- Provide fire stops wherever interior and exterior walls and partitions intersect floors, ceilings and roofs, and at all openings around penetrations to prevent vertical communication of fire and to prevent to lateral communication of fire along lines of corridors, occupancy changes between tenants and similar separations.
- Provide reinforced walls and backup as required for all wall hung or supported items where indicated for items provided by GC or Owner.
- The contractor shall layout all fire protection devices, electrical switches and receptacles for review by architect prior to electrical rough-in.
- The contractor shall perform all work in strict accordance with the contract documents, or between the contract documents and applicable standards, codes and ordinances.
- In the event of inconsistencies within or between parts of the contract documents and applicable standards, codes and ordinances, the contractor shall provide the better quality or greater quantity of work or comply with a more stringent requirement, either or both in accordance with the architect's interpretation.
- All construction and equipment is new, u.n.o.
- Contractor should implement and maintain reasonable protection measures to safeguard existing construction, finishes, furnishings, equipment, etc. in place.

SHEET NAMING CONVENTIONS ARE AS FOLLOWS:



MATERIALS



ABBREVIATIONS

AB	ANCHOR BOLT	BRG	BEARING	DBL	DOUBLE	EXH	EXHAUST	GC	GENERAL CONTRACTOR	JC	JANITOR'S CLOSET	MOV	MOVABLE	PTD	PAINTED	SC	SOLID CORE	THK	THICKNESS
ABV	ABOVE	BRK	BRICK	DBN	DEMOLISH / DEMOLITION	EXP	EXPANSION	GR	GRASS / GRASS	JF	JOINT FILLER	MT	MOUNTING (HINGE)	PTM	PAINT	SCI	SCHEDULE	THR	THRESHOLD
ACT	ACTUALLY	BRZ	BRONZE	DEP	DEPRESSED	EXT	EXTENSION	GRF	REINFORCED CONCRETE (GRADING)	JO	JOINT	N	NORTH	PVC	POLYVINYL CHLORIDE	SD	STORM DRAIN	TBD	TACKBOARD
AC	AC	BSR	BUILD UP ROOFING	DIA	DIAMETER	EXTN	EXTENSION	GL	GLASS	KT	KITCHEN	NC	NOT IN CONTRACT	PWT	PLYWOOD	SG	SAFETY GLASS	TP	TYPICAL
AC	AC	CB	CABINET	DM	DIMENSION	FE	FLOOR FINISH	GL	GLASS GLAZING	KO	KNOCKOUT	NOM	NOMINAL	QTY	QUANTITY	SH	SHIELD SHELVING	TTN	TYPICAL TRUSS
ACM	ALUMINUM COMPOSITE PANEL	DM	DIMENSION	DR	DOOR	FD	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
ADJ	ADJACENT	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
ADJ	ADJACENT	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
ALU	ALUMINUM	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
APR	APPROXIMATELY	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
ASB	ASSEMBLY	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
AT	ARCHITECTURAL TILE	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
AVE	AVENUE	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
AVG	AVERAGE	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BC	BRICK COURSE	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BD	BETWEEN	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BJ	BATH (JOB)	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BLO	BLOCK	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BNG	BENCH MARK	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BL	BOTTOM	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD
BPL	BEARING PLATE	DM	DIMENSION	DR	DOOR	FE	FLOOR FINISH	GT	GRAVEL	L	LENGTH	OA	OUTSIDE AIR (ON CENTERLINE)	GT	GRAVEL	OD	OUTSIDE DIAMETER (ON CENTERLINE)	OH	OVERHEAD



PROJECT
Hearst Park & Pool
3950 37th Street, NW
Washington, DC 20008

OWNER'S REPRESENTATIVE
Department of General Services
2000 14th Street NW, 8th Floor
Washington DC, 20009

ARCHITECT
cox grass + spack architects
2919 M Street NW
Washington DC 20007
T: 202.965.7070
F: 202.965.7144

CIVIL ENGINEER
Wiles Mensch Corporation
Address: 510 8th Street SE
Washington DC 20003
T: 202.436.9384

STRUCTURAL ENGINEER
Simpson Gumpertz & Heger Inc.
1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER
Safty & Associates International, PLLC
Address: 5185 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT
CGLA
1025 Connecticut Avenue NW, Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT
Councilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.884.1245

AV / IT / AUDIOVISUALS CONSULTANT
Polysonic
405 Belle Air Lane
Warrenton, VA 20188
T: 540.341.4988

Mark	Date	Description
01	6/11/18	Design Development Set
02	11/20/18	FTG Permit Submission
03	02/06/19	Permit Submission
04	03/20/19	Building Permit

Drawing Title:
GENERAL INFORMATION

Project No: 1614
Date: 03/20/2019

Drawing No:
G001

APPLICABLE CODES:

- Building:** 12 DCMR A. Building Code Supplement, International Building Code – 2012 Edition (IBC)
- Electrical:** 12 DCMR C. Electrical Code Supplement, National Electrical Code (NFPA 70) – 2011 Edition
- Mechanical:** 12 DCMR E. Mechanical Code Supplement, International Mechanical Code – 2012 Edition.
- Plumbing:** 12 DCMR F. Plumbing Code Supplement, International Plumbing Code – 2012 Edition.
- Fire Prevention:** 12 DCMR H. Fire Code Supplement, International Fire Code – 2012 Edition (IFC)
- Accessibility:** 2010 Americans with Disabilities Act Standards for Accessible Design (ADA), ICC A117.1, Accessible and Usable Buildings and Facilities – 2009 Edition
- Other:** National Fire Protection Association (NFPA) standards, as referenced by the 2012 IBC, including NFPA 10, NFPA 13, NFPA 72, etc.
12 DCMR D. Fuel Gas Code Supplement, International Fuel Gas Code – 2012 Edition
12 DCMR J. Energy Code Supplement, International Energy Conservation Code – 2012 Edition
12 DCMR K. Green Construction Code Supplement, International Green Construction Code – 2012 Edition
12 DCMR L. Swimming Pool and Spa Code Supplement, International Swimming Pool and Spa Code – 2012 Edition
DC Law 8-36 District of Columbia Environmental Policy Act of 1980
DCMR Title 11- Zoning Requirements

PROJECT SUMMARY:

Scope of work:

The Department of General Services and Department of Parks & Recreation project involves improvements to the existing park, Hearst Park, currently serves Ward 3 as a multi-purpose public open space suitable for passive and active recreation. Park improvements/ upgrades are to include a new outdoor pool with accompanying pool house for Hearst Park. The intent of the design is to maintain the passive character of the park, while providing enhanced facilities for structured/ organized sports including soccer and tennis.

Site Work

- Grading and grass restoration at disturbed areas
- Grading and drainage installation at sports field
- Site utilities and storm water piping
- Concrete paving and stairs
- Permeable paving
- Raised wooden walkways, landings and platforms
- Fencing
- Site accessories

Demolition

- Selective removal of existing site features
- Removal of existing plantings and trees
- Removal of existing storm water infrastructure

Pool House

- Construction of a new steel frame, bearing concrete masonry unit wall, concrete deck and steel deck structure clad in metal panel and aluminum siding.
- Membrane roofing, extensive and intensive green roofs.
- Storage, equipment, office, lobby and locker/bathing/toilet facilities.
- Sheeling and shoring
- Ground reinforcement under footings
- Fencing
- Mechanical, plumbing and electrical systems
- Sump systems
- Generator
10. Machine/roomless passenger elevator
- Exterior electric lift

Tennis Courts

- New tennis court and practice area.
- Fencing

Swimming Pool & Deck

- In ground six-lane pool with zero-entry area
- Chair lift
- Pool equipment
- Concrete pool deck and drainage system

PROJECT AREA	Area (sq ft)
1st Floor	3,774 sq ft
2nd Floor	1,048 sq ft
Total Conditioned Space	4,822 sq ft
Attached Exterior Yard	927 sq ft
Total Building	5,749 sq ft
Building Footprint, including cantilever	5,028 sq ft
Pool	
Deep End	514 sq ft
Shallow End	3,370 sq ft
Pool Deck	3,389 sq ft
Pool Deck	6,305 sq ft

ZONING NOTES:

Zoning has been reviewed by Matthew Le Grant, DCRA Zoning Administrator in Zoning Determination letter dated 1-29-2016

Project Name: Hearst Park and Pool

Project Address: 3950 37th Street, NW Washington, DC 20008

Square: 1905

Lot: 802

Zoning Classification: R-1-B

Lot Area: 191,888 Square Feet (4.4 Acres)

Flood Zone: FEMA Flood Zone Map Area 1100010004C Zone X - Minimal Flood Hazard

Existing Use: Department of Parks and Recreation Park bounded by 31th St to the west, Quebec St. to the south, Idaho Ave to the east, and Idaho Ave, District

Proposed Use: Open, partially wooded field with natural grass soccer field in the northern portion of the site, outdoor pool and pool house, pool staff office, storage and pool equipment and storage rooms and 2 tennis courts. No on-site parking is planned.

FAR: Section C-1604.2: Public education buildings and structures, public recreation and community centers, and public libraries shall be permitted a maximum floor area ratio as set forth in table Table C-3 Section 1604.2. US Max FAR (172.5 SF allowed). The proposed building is a two-story structure with a total of 5,749 sq ft.

Allowable Height: Section C-1602.2: A public recreation and community center may be erected to a height as follows: In an R, RF, or RA Zoning District, a public recreation and community center may be erected to a height not to exceed forty-five feet (45 ft).

Number of Stories: In accordance to Section D-303.1, the building is limited to three stories.

Lot Width: In accordance to Section C-1605, no lot width is prescribed for public recreation and community center uses.

Yard Designations: Front Yard Section B-315.3, if a lot has more than one (1) street lot line, the owner of the lot may choose the street lot line that shall determine the application of any front setback requirement.

The front yard setback is to be considered along 37th Street NW.

The side yards are the Hearst Elementary School to the north and Quebec St. NW and Idaho Ave. NW to the south. Side yard setback = 8' minimum. Page 16 of Appendix N illustrates a 17' side yard setback at Quebec St. NW.

The rear yard is the DDO7 Idaho Ave. Right-of-Way to the east. The soccer field rear extend into the rear yard.

ZONING NOTES (Continued):

GAR: The project is exempt from Green Area Ratio because it is located within the R-1-B Zoning District (Section B-61.2).

Vehicle Parking: Section C-701.5: Parks and Recreation - 0.5 spaces per 1,000 SF. Parking will be required for the proposed structure. Two (2) off-street parking spaces are required.

Section C-703: Special exceptions from minimum parking number requirements: Section C-703.1: This section provides flexibility from the minimum required number of parking spaces when the provision of the required number of spaces would be contrary to other District of Columbia regulations; or impractical or unnecessary due to the slope or configuration of the site, a lack of demand for parking, or proximity to transit.

Approval of a special exception by the Board of Zoning Adjustment will be required pursuant to Section C-703.2.

FAR will be based on the Use Category of Parks and Recreation for the site as defined under Section B, 2002 (2). Building area = 5,208 sq ft which is below the maximum permitted gross floor area and complies with the FAR requirement for the R-1-B Zoning District.

Approval of a special exception by the Board of Zoning Adjustment will be required pursuant to Section C-703.2.

Bicycle Parking: Section C-802.1: Parks and Recreation Use Long Term Bicycle Parking: None required Short Term Bicycle Parking: 1 space for each 10,000 SF but not less than 8 spaces

Six (6) short-term bicycle spaces are required, and will be provided (4) are to be provided in excess of base requirements by Section C, 804.

Deliver Space: Section C-801.1: Parks and Recreation - More than 30,000 SF GFA, 1 required. The building area is less than 30,000 GFA, therefore a delivery space is not required.

Retaining Walls: The western and southern edges of the site will require retaining walls. The retaining walls will extend above grade at the western and southern edges of the site by no more than 4'.

Section C-1401.2: A retaining wall shall not exceed four feet (4 ft.) in height in the following locations, unless a lower height is required by Section C-1401.5 and 1401.6:

- (a) Along a street frontage or property line;
- (b) Within any required side setback;
- (c) In the R-1-A, R-1-B, R-6, R-7, R-8, R-11, R-12, R-14, R-15, R-16, R-19, and R-21 zones, within twenty-five feet (25 ft.) of the rear property line, as measured from the rear property line inward; and
- (d) In the R-2, R-3, R-10, R-13, R-17, R-20, and RF zones, within twenty feet (20 ft.) of the rear property line, as measured from the rear property line inward.

BUILDING ANALYSIS:

Use Classification: The IBC requires the occupancy of each space to be individually classified. The mixed uses in the Pool House will include office and lobby spaces, locker rooms, and associated storage and support spaces. Per IBC §303.1.1, a building or tenant space used for assembly purposes with an occupant load of less than 50 persons is classified as a Group B occupancy. An occupant load calculation was performed for the building and it was determined that the Pool House, which serves an assembly function (pool) has a current occupant load of 49 persons. Therefore, the occupancy classification for the uses in accordance with the IBC include Group B and Group S-1 occupancies.

The building is a non-separated occupancy per IBC §508.3. This approach does not require fire separations between occupancies, and the requirements for fire protection systems are based on the most restrictive occupancy [IBC §508.3].

Building Height: Based on a Group S-1 occupancy, the most restrictive occupancy in the building for height and area limitations, and Type IIB construction, the allowable building height is 3 stories and 55 feet and the allowable area is 17,500 square feet.

Construction Type: The required fire resistance ratings of the walls, structural elements, floors, ceilings and roofs are based on the construction type of the building as specified in IBC Table 601. Table 6 summarizes the fire resistance requirements of structural elements for Type IIB building construction. The use of combustible materials is required to comply with IBC §903.

Table 6 - Fire Resistance Ratings for Building Elements [IBC Table 601]

BUILDING ELEMENT	HOURS
Primary Structural Frame	0
Interior and Exterior Load-bearing walls	0
Exterior Non-load-bearing walls	See following
Interior Non-load-bearing walls	0
Floor construction and secondary members	0
Roof construction and secondary members	0

TABLE 602 - Fire-resistance rating requirements for exterior walls based on fire separation distance

Fire Separation Distance X	Group S-1 & Type IIB
X < 5'	2 HOUR
5' < X < 10'	1 HOUR
10' < X < 30'	0 HOUR
X > 30'	0 HOUR

Automated Sprinklers System: The Pool House building is not required to be equipped with an automatic sprinkler system per IBC §903.

Standpipe & Hose: The Pool House building is not required to be equipped with a standpipe and hose system per IBC §904 as the floor level of the highest story does not exceed 30' feet above the lowest level of the fire department access.

Fire extinguishers: Fire extinguishers are required for Group B and Group S occupancies [12 DCMR A §906.1].

Fire Alarm & Detection: The Pool House building is not required to be equipped with a fire alarm system per IBC §907.

Automated External Defibrillator: Per DC Reg 44-232.01, DC Recreational Facilities are required to have a minimum of (1) automated external defibrillator.

BUILDINGS (Continued):

Interior Finishes: Interior wall and ceiling finishes and trim are classified in accordance with ASTM E 84, Standard Test Method for Surface Burning Characteristics of Building Materials. Interior finish materials are grouped in the following classes, based on their flame spread and smoke developed indexes [IBC §903.3].

- Class A - Flame spread index 0-25, smoke developed index 0-450
- Class B - Flame spread index 26-75, smoke developed index 0-450
- Class C - Flame spread index 76-200, smoke developed index 0-450

Table 5 summarizes the interior finish requirements for the building depending [IBC Table 803.3].

OCCUPANCY	EXITS	CORRIDORS	OPEN AREA
Group B (not sprink'd)	Class A	Class B	Class C
Group B (not sprink'd)	Class B	Class B	Class C
Group B (not sprink'd)	Class B	Class B	Class C

In addition to interior wall and ceiling finishes, requirements are also specified for interior floor finish and floor covering materials. Interior floor finish materials are classified in accordance with NFPA 253, Standard Method of Test for Critical Radiant Flux for Floor Covering Systems Using a Radiant Heat Energy Source as follows [IBC §904.2].

- Class 1 - Critical radiant heat flux ≥ 0.45 W/m²
- Class 1I - Critical radiant heat flux ≥ 0.22 W/m²

Floor finish must be a minimum of Class II or must comply with the DGC FF-1 "hot test" (DGC FF-1630) or ASTM D 2899 in all occupancies [IBC §904.1].

Traditional type floors and floor coverings such as wood, vinyl, linoleum, or terrazzo, and resilient floor covering materials that are not comprised of fibers are permitted [IBC §904.1].

Fire Alarm & Detection: The Pool House building is not required to be equipped with a fire alarm system per IBC §907.

Automated External Defibrillator: Per DC Reg 44-232.01, DC Recreational Facilities are required to have a minimum of (1) automated external defibrillator.

OCCUPANT LOAD FACTORS:

The required number and capacity of seats are based on the design occupant load. The occupant load represents the maximum number of persons anticipated to occupy any floor area, and is used to determine the minimum number of persons for which means of egress must be provided. Table 10.1 summarizes the applicable occupant load factors for the project based on the anticipated uses.

USE	OCCUPANT LOAD FACTOR (cf./Person)
Locker rooms	50 Gross
Business (office areas)	100 Gross
Storage / mechanical equipment areas	300 Gross
Pool Deck	15 Gross
Swimming Pool	50 Gross

Posted batter load as indicated on pool deck signage is calculated by IPSC occupant loads as defined by table 403.1 Maximum Batter Load. Pool's allowable occupancy to be capped at the maximum batter load.

Pool Class: B PUBLIC POOL. A pool intended for public recreational use. Exempt from Table 403.1 for Pool Decks with Deck area at least equal to water surface area (but less than twice the water surface area).

Table 403.1 for Pool Decks with Deck area at least equal to water surface area (but less than twice the water surface area).

USE	OCCUPANT LOAD FACTOR (cf./Person)
Shallow Instructional / Wading Pools	12 cf / user
Deep Area (Not including Diving)	15 cf / user
Diving Area (Per each Diving Board)	Not applicable to project

PROJECT
Hearst Park & Pool
3950 37th Street, NW
Washington, DC 20008

OWNER'S REPRESENTATIVE
Department of General Services
2000 14th Street NW, 8th Floor
Washington DC, 20009

ARCHITECT
cox grobe + spack architects
2909 M Street NW
Washington DC 20007
F: 202.965.7070
T: 202.965.7144

CIVIL ENGINEER
Wiles Mensch Corporation
Address: 510 8th Street SE
Washington DC 20003
T: 202.436.9384

STRUCTURAL ENGINEER
Simpson Gumpertz & Heger Inc.
1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER
SPEY & Associates International, PLLC
Address: 5155 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT
COLTA
1025 Connecticut Avenue NW, Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT
Councilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.894.1245

AVI IT/ACOUSTICS CONSULTANT
Polysonics
405 Belle Air Lane
Warrenton, VA 20196
T: 540.341.4988



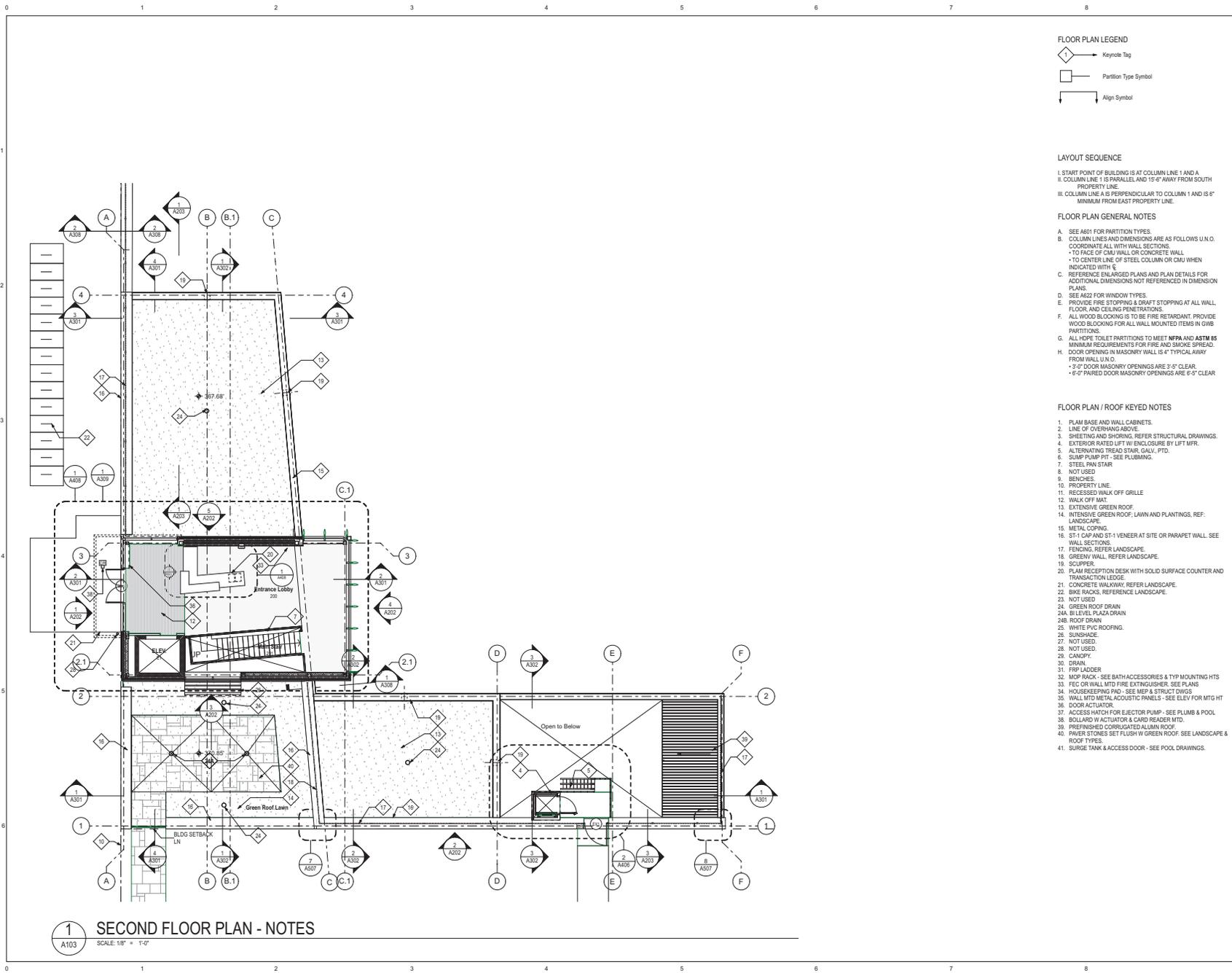
Mark	Date	Description
01	6/11/18	Design Development Set
02	11/20/18	FTG Permit Submission
03	02/06/19	Permit Submission
04	03/20/19	Building Permit

Drawing Title:
ZONING AND CODE INFORMATION

Graphic Scale:

Project No: 1614
Date: 03/20/2019

Drawing No: **G002**



- FLOOR PLAN LEGEND**
- Keynote Tag
 - Partition Type Symbol
 - Align Symbol

LAYOUT SEQUENCE

- I. START POINT OF BUILDING IS AT COLUMN LINE 1 AND A
- II. COLUMN LINE 1 IS PARALLEL AND 15'-0" AWAY FROM SOUTH PROPERTY LINE
- III. COLUMN LINE A IS PERPENDICULAR TO COLUMN 1 AND IS 6' MINIMUM FROM EAST PROPERTY LINE

FLOOR PLAN GENERAL NOTES

- A. SEE A601 FOR PARTITION TYPES.
- B. COLUMN LINES AND DIMENSIONS ARE AS FOLLOWS U.N.O. COORDINATE ALL WITH WALL SECTIONS.
 - TO FACE OF CMU WALL OR CONCRETE WALL
 - TO CENTER LINE OF STEEL COLUMN OR CMU WHEN INDICATED WITH \square
- C. REFERENCE ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL DIMENSIONS NOT REFERENCED IN DIMENSION PLANS.
- D. SEE A402 FOR WINDOW TYPES.
- E. PROVIDE FIRE STOPPING & DRAFT STOPPING AT ALL WALL, FLOOR, AND CEILING PENETRATIONS.
- F. ALL WOOD BLOCKING IS TO BE FIRE RETARDANT. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS IN GWB PARTITIONS.
- G. ALL HDPE TOILET PARTITIONS TO MEET NFPA AND ASTM 85 MINIMUM REQUIREMENTS FOR FIRE AND SMOKE SPREAD.
- H. DOOR OPENING IN MASONRY WALL IS 4" TYPICAL AWAY FROM WALL U.N.O.
 - 3'-0" DOOR MASONRY OPENINGS ARE 3'-0" CLEAR
 - 6'-0" PAIRED DOOR MASONRY OPENINGS ARE 6'-0" CLEAR

FLOOR PLAN / ROOF KEYED NOTES

1. PLM BASE AND WALL CABINETS.
2. LINE OF OVERHANG ABOVE.
3. SHEETING AND SHORING. REFER STRUCTURAL DRAWINGS.
4. EXTERIOR RATED LIFT W/ ENCLOSURE BY LIFT MFR.
5. ALTERNATING THREAD STAIR, GALV., PTD.
6. SUMP PUMP PIT - SEE PLUMBING.
7. STEEL PAN STAR
8. NOT USED
9. BENCHES.
10. PROPERTY LINE.
11. RECESSED WALK OFF GRILLE
12. WALK OFF MAT.
13. EXTENSIVE GREEN ROOF.
14. INTENSIVE GREEN ROOF: LAWN AND PLANTINGS. REF: LANDSCAPE.
15. METAL COPING.
16. ST-1 CAP AND ST-1 VENEER AT SITE OR PARAPET WALL. SEE WALL SECTIONS.
17. FENCING. REFER LANDSCAPE.
18. GREENV WALL. REFER LANDSCAPE.
19. SCUPPER.
20. PLM RECEPTION DESK WITH SOLID SURFACE COUNTER AND TRANSACTION LEDGE.
21. CONCRETE WALKWAY. REFER LANDSCAPE.
22. BIKE RACKS. REFER LANDSCAPE.
23. NOT USED
24. GREEN ROOF DRAIN
- 24A. BI LEVEL PLAZA DRAIN
- 24B. ROOF DRAIN
25. WHITE PVC ROOFING.
26. SUNSHADE
27. NOT USED.
28. NOT USED.
29. CANOPY.
30. DRAIN.
31. FRP LADDER
32. MOP PAIL - SEE BATH ACCESSORIES & TYP MOUNTING HTS
33. FEC OR WALL MTD FIRE EXTINGUISHER. SEE PLANS
34. HOUSEKEEPING PND - SEE MEP & STRUCT DIVS
35. WALL MTD METAL ACOUSTIC PANELS - SEE ELEV FOR MTD HT
36. DOOR ACTUATOR
37. ACCESS HATCH FOR EJECTOR PUMP - SEE PLUMB & POOL
38. BOLLARD W/ ACTUATOR & CARD READER MTD.
39. PREFINISHED CORRUGATED ALUMINUM ROOF.
40. PAVER STONES SET FLUSH W/ GREEN ROOF. SEE LANDSCAPE & ROOF TYPES
41. SURGE TANK & ACCESS DOOR - SEE POOL DRAWINGS.

PROJECT
Hearst Park & Pool
 3950 37th Street, NW
 Washington, DC 20008

OWNER'S REPRESENTATIVE
Department of General Services
 2000 14th Street NW, 8th Floor
 Washington DC, 20009

ARCHITECT
cox graae + spack architects
 2909 M Street NW
 Washington DC 20007
 T: 202.965.7070
 F: 202.965.7144

CIVIL ENGINEER
Wiles Mensch Corporation
 Address: 510 8th Street SE
 Washington DC 20003
 T: 202.436.9584

STRUCTURAL ENGINEER
Simpson Gumpertz & Heger Inc.
 1625 Eye Street NW, Suite 900
 Washington, DC 20006
 T: 202.239.4199

MPE ENGINEER
Setty & Associates International, PLLC
 Address: 5155 MacArthur Blvd., Suite 220
 Washington, DC 20016
 T: 202.393.1523

LANDSCAPE ARCHITECT
CGLA
 1025 Connecticut Avenue NW, Suite 1000
 Washington, DC 20036
 T: 202.857.9720

POOL CONSULTANT
Counselman-Hunsaker
 10733 Sunset Office Dr., Suite 400
 St. Louis, MO 63127
 T: 314.894.1245

AV/ IT/ ACOUSTICS CONSULTANT
Polysonics
 405 Belle Air Lane
 Warrenton, VA 20186
 T: 540.341.4988



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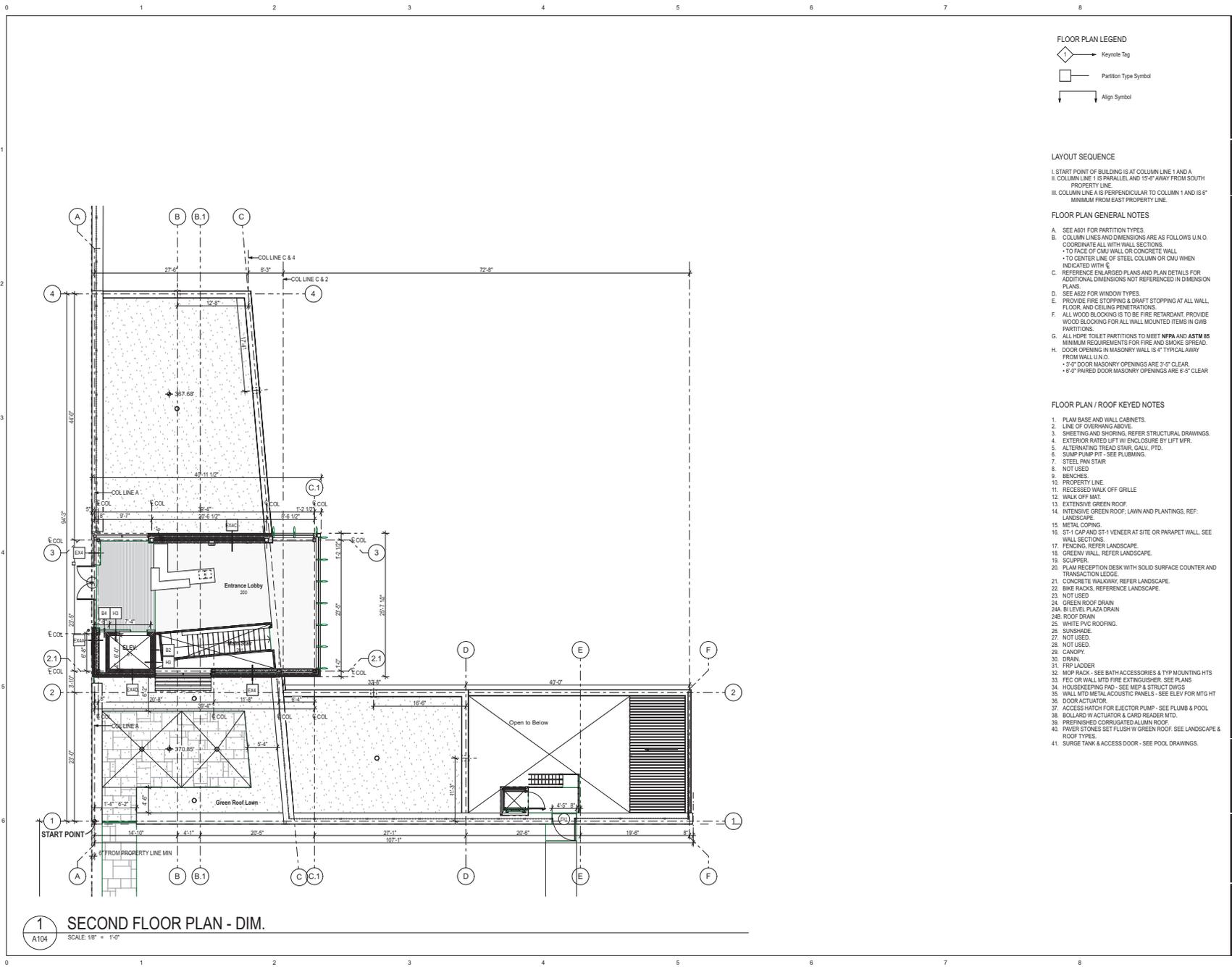
Drawing Title:
SECOND FLOOR PLAN

Graphic Scale: 1/8" = 1'-0"

Project No: **1614** Date: **03/20/2019**

Drawing No: **A103**

1 SECOND FLOOR PLAN - NOTES
 SCALE: 1/8" = 1'-0"



- FLOOR PLAN LEGEND**
- Keynote Tag
 - Partition Type Symbol
 - Align Symbol

- LAYOUT SEQUENCE**
- I. START POINT OF BUILDING IS AT COLUMN LINE 1 AND A
 - II. COLUMN LINE 1 IS PARALLEL AND 15'-0" AWAY FROM SOUTH PROPERTY LINE
 - III. COLUMN LINE A IS PERPENDICULAR TO COLUMN 1 AND IS 6" MINIMUM FROM EAST PROPERTY LINE

- FLOOR PLAN GENERAL NOTES**
- A. SEE A601 FOR PARTITION TYPES.
 - B. COLUMN LINES AND DIMENSIONS ARE AS FOLLOWS U.N.O. COORDINATE ALL WITH WALL SECTIONS.
 - TO FACE OF CMU WALL OR CONCRETE WALL
 - TO CENTER LINE OF STEEL COLUMN OR CMU WHEN INDICATED WITH \bar{C}
 - C. REFERENCE ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL DIMENSIONS NOT REFERENCED IN DIMENSION PLANS.
 - D. SEE A602 FOR WINDOW TYPES.
 - E. PROVIDE FIRE STOPPING & DRAFT STOPPING AT ALL WALL, FLOOR, AND CEILING PENETRATIONS.
 - F. ALL WOOD BLOCKING IS TO BE FIRE RETARDANT. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS IN GWB PARTITIONS.
 - G. ALL HDPE TOILET PARTITIONS TO MEET NFPA AND ASTM 85 MINIMUM REQUIREMENTS FOR FIRE AND SMOKE SPREAD.
 - H. DOOR OPENING IN MASONRY WALL IS 4" TYPICAL AWAY FROM WALL U.N.O.
 - 3'-0" DOOR MASONRY OPENINGS ARE 3'-0" CLEAR
 - 6'-0" PAIRED DOOR MASONRY OPENINGS ARE 6'-0" CLEAR

- FLOOR PLAN / ROOF KEYED NOTES**
1. PLM BASE AND WALL CABINETS.
 2. LINE OF OVERHANG ABOVE.
 3. SHEETING AND SHORING. REFER STRUCTURAL DRAWINGS.
 4. EXTERIOR RATED LIFT W/ ENCLOSURE BY LIFT MFR.
 5. ALTERNATING THREAD STAR, GALV., PTD.
 6. SLUMP PUMP PIT - SEE PLUMBING.
 7. STEEL PAN STAR
 8. NOT USED
 9. BENCHES
 10. PROPERTY LINE
 11. RECESSED WALK OFF GRILLE
 12. WALK OFF MAT
 13. EXTENSIVE GREEN ROOF
 14. INTENSIVE GREEN ROOF: LAWN AND PLANTINGS. REF: LANDSCAPE.
 15. METAL COPING
 16. ST-1 CAP AND ST-1 VENEER AT SITE OR PARAPET WALL. SEE WALL SECTIONS.
 17. FENCING. REFER LANDSCAPE.
 18. GREENV WALL. REFER LANDSCAPE.
 19. SCUPPER
 20. PLM RECEPTION DESK WITH SOLID SURFACE COUNTER AND TRANSECTION LEDGE
 21. CONCRETE WALKWAY. REFER LANDSCAPE.
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 26. SUNSHADE
 27. NOT USED
 28. NOT USED
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 31. FRP LADDER
 32. MOP RACK - SEE BATH ACCESSORIES & TYP MOUNTING HTS
 33. FEC OR WALL MTD FIRE EXTINGUISHER. SEE PLANS
 34. HOUSEKEEPING PAD - SEE MEP & STRUCT DWGS
 35. WALL MTD METAL ACOUSTIC PANELS - SEE ELEV FOR MTO HT
 36. DOOR ACTUATOR
 37. ACCESS HATCH FOR EJECTOR PUMP - SEE PLUMB & POOL
 38. COLLARD W/ ACTUATOR & CARD READER MTD.
 39. PREFINISHED CORRUGATED ALUMINUM ROOF
 40. PAWER STONES SET FLUSH W/ GREEN ROOF. SEE LANDSCAPE & ROOF TYPES
 41. SURGE TANK & ACCESS DOOR - SEE POOL DRAWINGS.

1 SECOND FLOOR PLAN - DIM.
SCALE: 1/8" = 1'-0"

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Department of General Services
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cox graae + spack architects
 2909 M Street NW
 Washington DC 20007
 T: 202.965.7070
 F: 202.965.7144

CIVIL ENGINEER
Wiles Mensch Corporation
 Address: 510 8th Street SE
 Washington DC 20003
 T: 202.436.9364

STRUCTURAL ENGINEER
Simpson Gumpertz & Heger Inc.
 1625 Eye Street NW, Suite 900
 Washington, DC 20006
 T: 202.239.4199

MPE ENGINEER
Setty & Associates International, PLLC
 Address: 5155 MacArthur Blvd., Suite 220
 Washington, DC 20016
 T: 202.393.1523

LANDSCAPE ARCHITECT
CGLA
 1025 Connecticut Avenue NW, Suite 1000
 Washington, DC 20036
 T: 202.857.9720

POOL CONSULTANT
Counselman-Hunsaker
 10733 Sunset Office Dr., Suite 400
 St. Louis, MO 63127
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AV/ ITI ACOUSTICS CONSULTANT
Polysonics
 405 Belle Air Lane
 Warrenton, VA 20186
 T: 540.341.4988



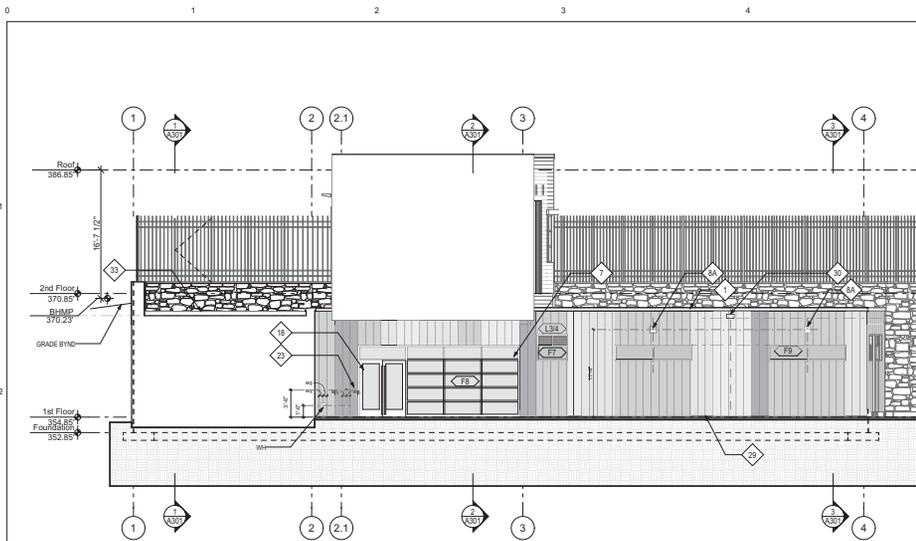
Mark	Date	Description
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Drawing Title:
SECOND FLOOR DIMENSION PLAN

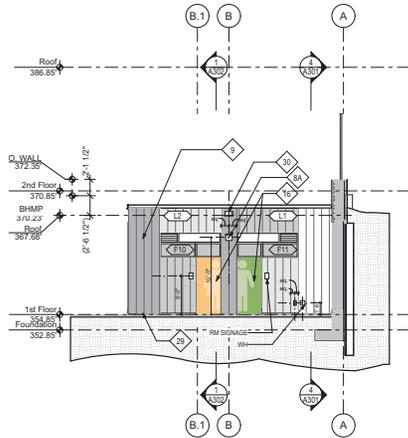
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Project No: **1614** Date: **03/20/2019**

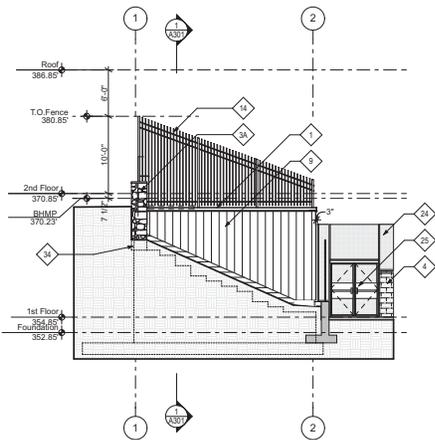
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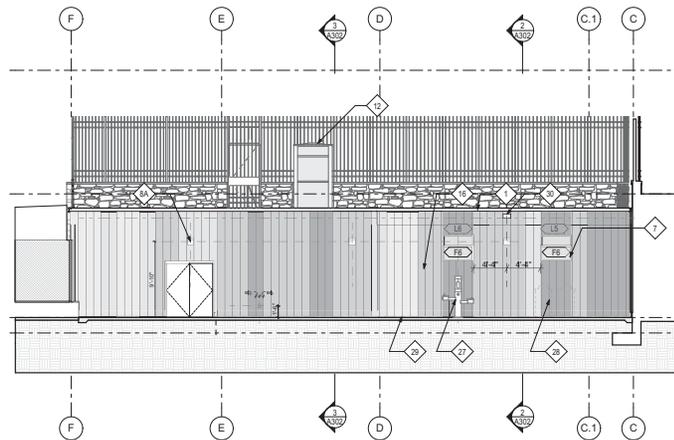
1 EAST ELEVATION 01A
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION 01A
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION 01B
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION 01B
SCALE: 1/8" = 1'-0"

ELEVATION / BUILDING SECTION GENERAL NOTES

- A. REVIEW ALL DEVICE LOCATIONS WITH MTL PANEL LAYOUT.
- B. METAL PANEL PATTERN IS NOT FINAL, BUT REPRESENTATIVE OF APPROXIMATE DISTRIBUTION AND PATTERN COMPLEXITY. FINAL DESIGN AND COLOR SELECTION TO BE REVIEWED, ALLOW FOR (4) COLORS TOTAL.

ELEVATION KEYED NOTES

1. METAL COPING, CUSTOM COLOR @ LONGBOARD SIDING. MATCH COLOR @ PAC-CLAD SIDING.
2. LONGBOARD HORIZONTAL METAL CLADDING.
- 3A. CONCRETE WALL W ST-2 VENEER AND ST-1 CAP.
- 3B. PERMANENT SHEETING & SHORING W/PRECAST LAGGING, ST-2 VENEER CLADDING ST-1 CAP. SEE STRUCT.
4. CMU WALL W SOLID CMU CAP. PAINTS WITH BLOCK FILLER.
5. CURTAIN WALL WITH SOLARBAN TO IGU.
6. CANOPY BEYOND.
7. STOREFRONT WITH SOLARBAN TO IGU / LAMINATED GLASS 1/4" + PVB + 1/8" @ OUTER PANEL.
- 8A. EXTERIOR LIGHTING/ELECT. CENTER ON DR OR WINDOW.
- 8B. EXTERIOR LIGHTING SEE ELECT. MTD TO FENCE POST.
9. METAL PANEL SIDING.
10. CANOPY WITH 'C' CHANNELS AT PERIMETER AND METAL PANEL CLADDING WITH METEDED CORNERS AND EDGES.
11. VERTICAL SUNSHADES.
12. STEEL FRAMED ENCLOSURE W STL AND ACRYLIC PANELS BY LIFT MFR.
13. SLOPING GRADE BEYOND.
14. MTL PICKET FENCING, SEE LANDSCAPE DRAWINGS.
15. GREEN WALL, REFER LANDSCAPE DRAWINGS.
16. GALVANIZED DOOR AND FRAME WITH PAINTED GRAPHIC.
17. INSULATED BRAKE METAL INFILL PANEL. SET FLUSH W ADJACENT WINDOW FRAME.
18. MEDIUM STYLE ALUMINUM DOORS WITH DOOR PULLS.
19. SUNSHADE.
20. HOT DIPPED GALVANIZED RAILING.
21. BIKE RACK.
22. BUILDING STORAGE.
23. CARD READER.
24. CHAINLINK FENCING, SEE LANDSCAPE DRAWINGS.
25. CHAINLINK GATE W PANO. HOVS & ALUM.
26. PRE-ENGINEERED GALVANIZED & POWDER COATED STL STAR WITH HANDRAIL & PLATFORM.
27. EXTERIOR WATER FOUNTAIN / BOTTLE FILLING STATION.
28. APPROX. LOCATION OF TRASH & RECYCLING, SEE LANDSCAPE.
29. SS BREAK MTL BASE TRIM.
30. SCUPPER. SEE EXTERIOR DETAILS. CUSTOM COLOR @ LONGBOARD SIDING. MATCH COLOR @ PAC-CLAD SIDING.
31. PROTOCOLS FOR EXTERIOR LIGHTING - SEE ELECT. BLACK FINISH. GO TO CONFIRM ONO OBSTRUCTIONS.
32. ALUMINUM EDGE TERMINATION TRIM BY SIDING MFR.
33. FLASHING - SEE WALL SECT.
34. APPROX. EXTENT OF STONE BLVD GRADE.

ELEVATION FINISH LEGEND

- MP-1 Vertical Mtl Panel Color 1
- MP-2 Vertical Mtl Panel Color 2
- MP-3 Vertical Mtl Panel Color 3
- MP-4 Vertical Mtl Panel Color 4
- Horizontal Aluminum Siding Flooring
- ST-1 Cadaverock Stone Veneer

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ARCHITECT

cox graae + spack architects
2909 M Street NW
Washington DC 20007
T: 202.965.7070
F: 202.965.7144

CIVIL ENGINEER

Wiles Mensch Corporation
Address: 510 8th Street SE
Washington, DC 20003
T: 202.436.9364

STRUCTURAL ENGINEER

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1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER

Setty & Associates International, PLLC
Address: 5185 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT

CGLA
1025 Connecticut Avenue NW, Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT

Councilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.894.1245

AVI/ITO ACUSTICS CONSULTANT

Polysonics
405 Belle Air Lane
Warrenton, VA 20186
T: 540.341.4988



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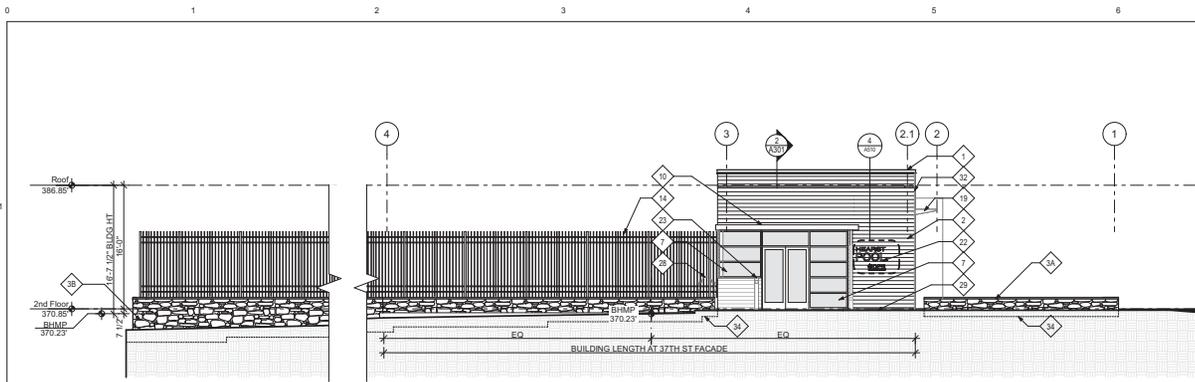
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BUILDING EXTERIOR ELEVATIONS

Graphic Scale:

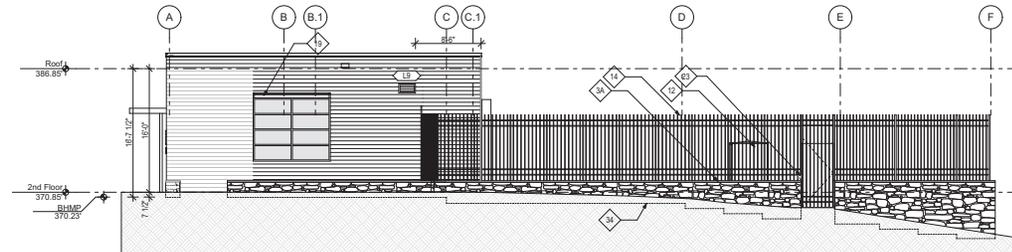
Project No:
1614

Date:
03/20/2019

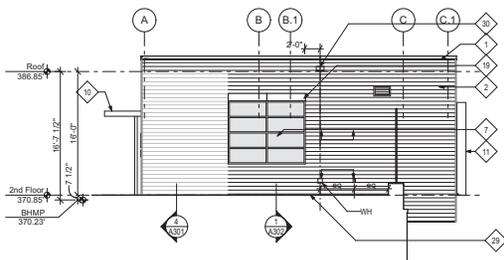
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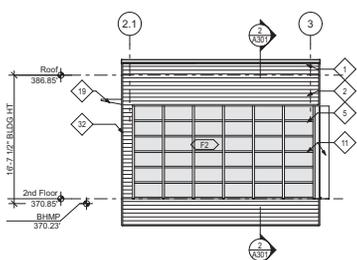
1 WEST ELEVATION 02A
SCALE: 1/8" = 1'-0"



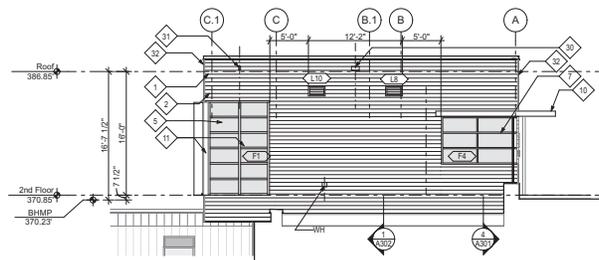
2 SOUTH ELEVATION 02B
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION 02A
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION 02A
SCALE: 1/8" = 1'-0"



5 NORTH ELEVATION 02A
SCALE: 1/8" = 1'-0"

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 - LONGBOARD HORIZONTAL METAL CLADDING.
 - CONCRETE WALL W/ ST-2 VENEER AND ST-1 CAP.
 - PERMANENT SHEETING & SHORING W/ PRECAST LAGGING, ST-2 VENEER CLADDING ST-1 CAP. SEE STRUCT.
 - CMU WALL W/ SOLID CMU CAP. PAINTED WITH BLOCK FILLER.
 - CURTAINWALL WITH SOLARBAN TO IGU.
 - CANOPY BEYOND.
 - STOREFRONT WITH SOLARBAN TO IGU / LAMINATED GLASS 1/4" + PVB + 1/8" @ OUTER PANE.
 - EXTERIOR LIGHTING SEE ELEC. CENTER ON DR OR WINDOW.
 - EXTERIOR LIGHTING SEE ELEC. MTD TO FENCE POST.
 - METAL PANEL SIDING.
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 - STEEL FRAMED ENCLOSURE W/ STL AND ACRYLIC PANELS BY LIFT MFR.
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 - MTL PICKET FENCING, SEE LANDSCAPE DRAWINGS.
 - GREEN WALL, REFER LANDSCAPE DRAWINGS.
 - GALVANIZED DOOR AND FRAME WITH PAINTED GRAPHIC.
 - INSULATED BRAKE METAL INFILL PANEL. SET FLUSH W/ ADJACENT WINDOW FRAME.
 - MEDIUM STYLE ALUMINUM DOORS WITH DOOR PULLS.
 - SUNSHADE.
 - HOT DIPPED GALVANIZED RAILING.
 - BIKE RACK.
 - BUILDING SIGNAGE.
 - CARD READER.
 - CHAINLINK FENCING, SEE LANDSCAPE DRAWINGS.
 - CHAINLINK GATE W/ PANELED HOVS & ALARM.
 - FIRE-ENGINEERED GALVANIZED & POWDER COATED STL STAR WITH HANDRAIL & PLATFORM.
 - EXTERIOR WATER FOUNTAIN / BOTTLE FILLING STATION.
 - APPROX LOCATION OF TRASH & RECYCLING, SEE LANDSCAPE.
 - SS BREAK MTL BASE TRIM.
 - SCUPPER, SEE EXTERIOR DETAILS, CUSTOM COLOR @ LONGBOARD SIDING, MATCH COLOR @ PAC-CLAD SIDING.
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 - APPROX EXTENT OF STONE BUI GRADE.

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Washington DC 20007
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CIVIL ENGINEER
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Washington DC 20003
T: 202.436.9364

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Washington, DC 20006
T: 202.239.4199

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Setty & Associates International, PLLC
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Washington, DC 20016
T: 202.393.1523

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CGLA
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Washington, DC 20036
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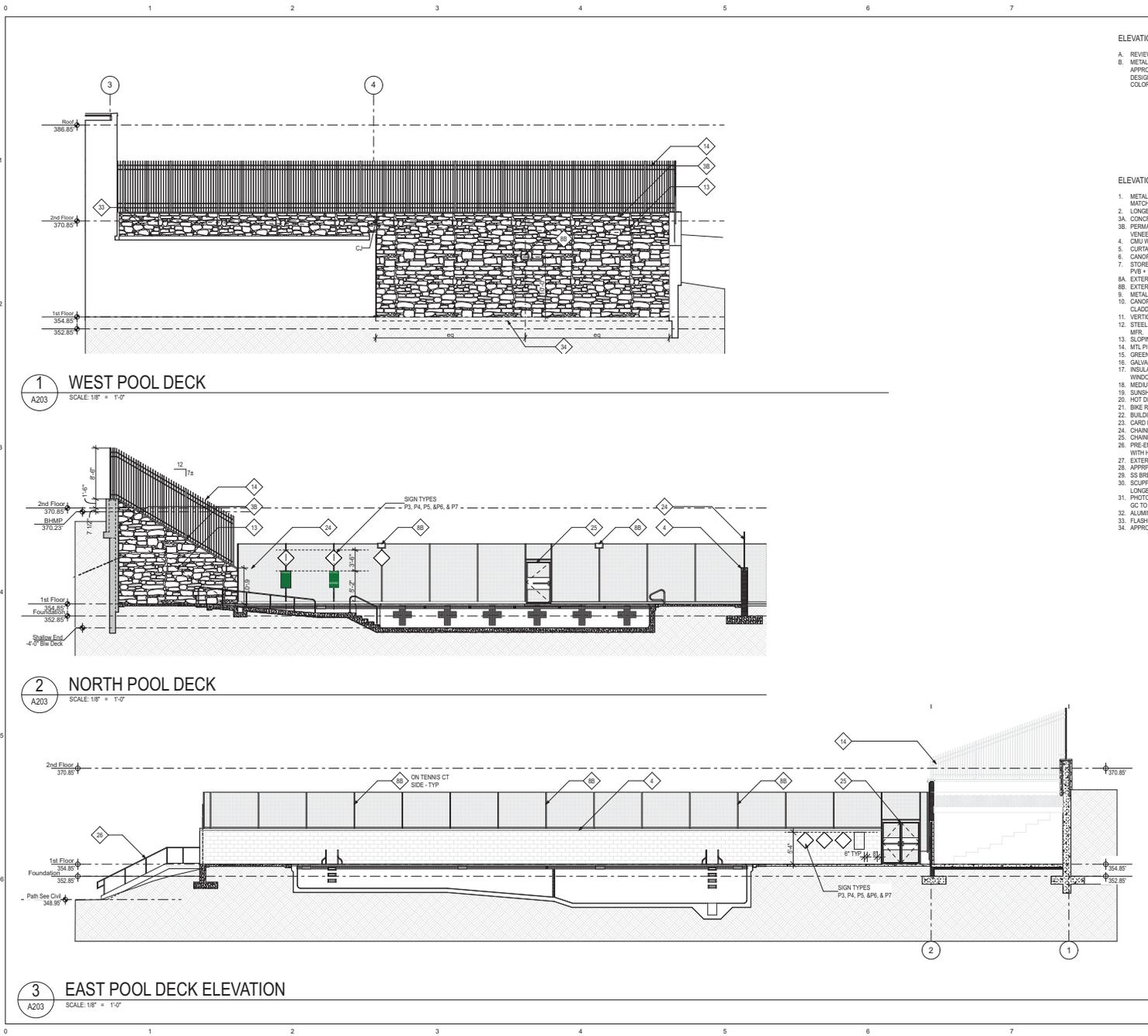
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Drawing Title:
BUILDING EXTERIOR ELEVATIONS

Graphic Scale: 1/8" = 1'-0"

Project No: **1614** Date: **03/20/2019**

Drawing No: **A202**



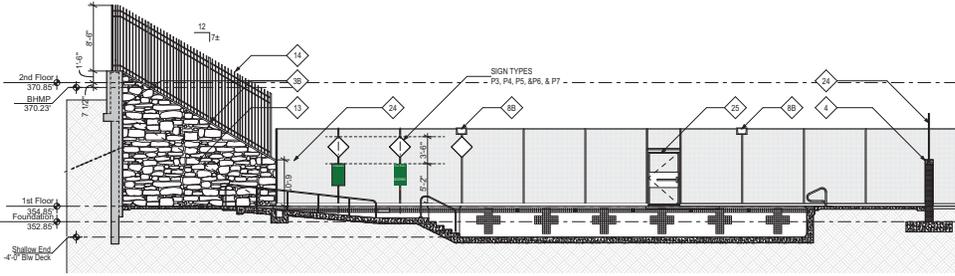
ELEVATION / BUILDING SECTION GENERAL NOTES

A. REVIEW ALL DEVICE LOCATIONS WITH MTL PANEL LAYOUT.

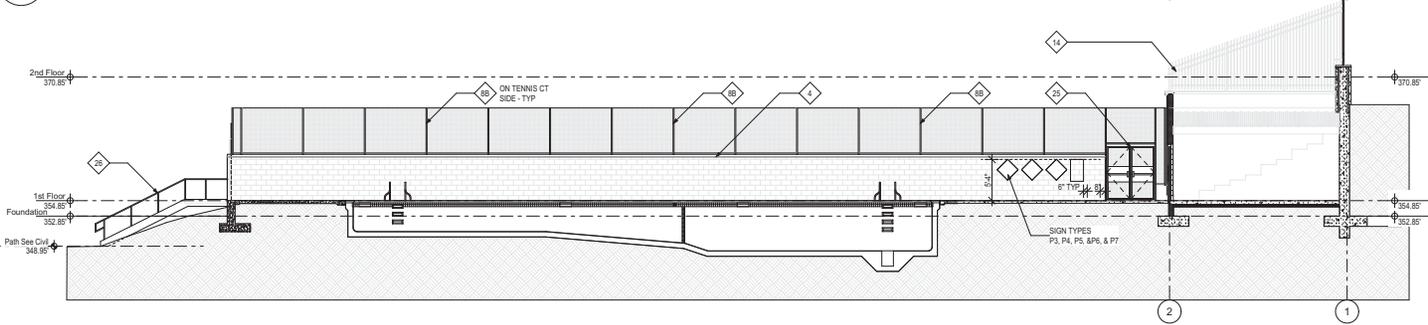
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 - CARD READER.
 - CHARLINK FENCING, SEE LANDSCAPE DRAWINGS.
 - CHARLINK GATE W PANG-HOWS & ALUM.
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 - FLASHING - SEE WALL SECT.
 - APPROX EXTENT OF STONE BLW GRADE.

1 WEST POOL DECK
SCALE: 1/8" = 1'-0"



2 NORTH POOL DECK
SCALE: 1/8" = 1'-0"



3 EAST POOL DECK ELEVATION
SCALE: 1/8" = 1'-0"

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Washington DC 20003
T: 202.436.9384

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Setty & Associates International, PLLC
Address: 5155 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT
CGLA
1025 Connecticut Avenue NW, Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT
Counsilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.894.1245

AV/IT/Acoustics CONSULTANT
Polysonics
405 Belle Air Lane
Warrenton, VA 20186
T: 540.341.4988



Mark	Date	Description
01	6/11/18	Design Development Set
02	11/20/18	FTG Permit Submission
03	02/06/19	Permit Submission
04	03/20/19	Building Permit

Drawing Title:
BUILDING SITE ELEVATIONS

Graphic Scale:

Project No: 1614
Date: 03/20/2019

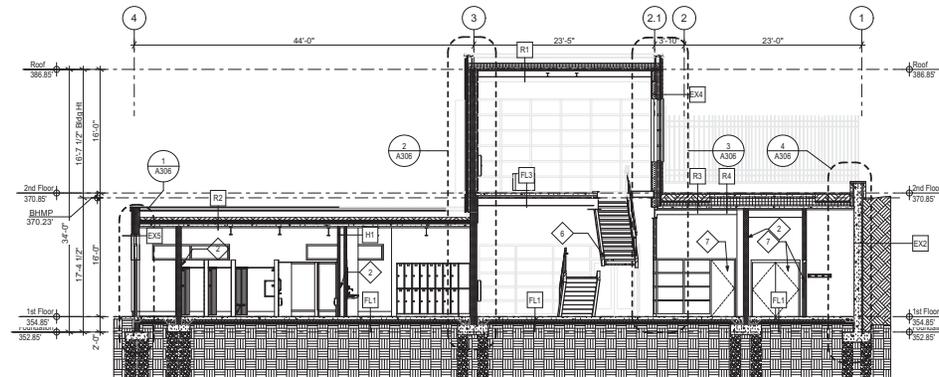
Drawing No: A203

BUILDING SECTION KEY NOTES

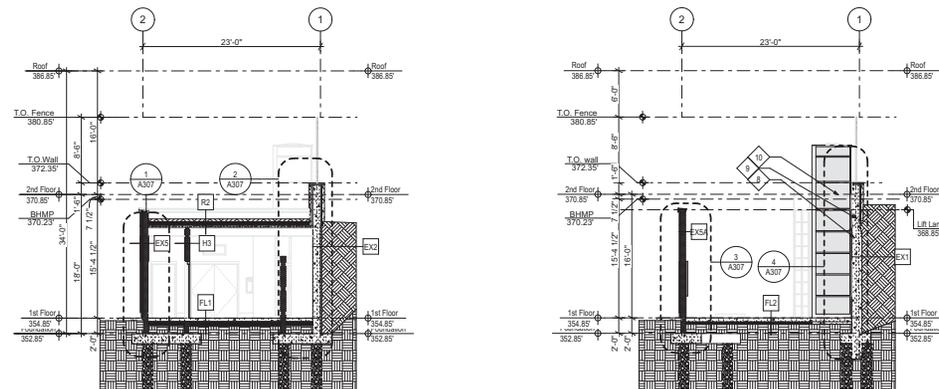
1. SHEETING AND SHORING FOR RETAINING WALL.
2. CMU INTERIOR WALLS.
3. CANOPY BEYOND.
4. EXTENSIVE GREEN ROOF WITH SEDUM PLANTINGS.
5. INTENSIVE GREEN ROOF WITH PLANTINGS, REFER LANDSCAPE DRAWINGS.
6. CONCRETE FILLED STEEL PAN STAIRS WITH 12 X 12 HSS STRINGER, BAR STOCK RAILING WITH PERFORATED METAL PANELS.
7. HOLLOW METAL DOOR AND WINDOW FRAMES, GALVANIZED, TYP.
8. CONCRETE RETAINING WALL.
9. FENCING, REFER LANDSCAPE DRAWINGS.
10. SERVICE LIFT WITH EXTERIOR ENCLOSURE.
11. STEEL FRAMED LANDING WITH EXPANDED METAL DECKING, HOT DIPPED GALVANIZED.
12. CONCRETE BRIDGE.
13. LONGBOARD SIDING.
14. INTENSIVE GREEN ROOF, LAWN AND PLANTINGS (REF. LANDSCAPE).
15. HOLELESS MACHINE ROOMLESS ELEVATOR.

ELEVATION / BUILDING SECTION GENERAL NOTES

- A. REVIEW ALL DEVICE LOCATIONS WITH MTL PANEL LAYOUT.
- B. METAL PANEL PATTERN IS NOT FINAL, BUT REPRESENTATIVE OF APPROXIMATE DISTRIBUTION AND PATTERN COMPLEXITY. FINAL DESIGN AND COLOR SELECTION TO BE REVIEWED, ALLOW FOR (4) COLORS TOTAL.



1 BUILDING SECTION 05
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION 06
SCALE: 1/8" = 1'-0"

3 BUILDING SECTION 07
SCALE: 1/8" = 1'-0"

PROJECT

Heart Park & Pool
3950 37th Street, NW
Washington, DC 20008

OWNER'S REPRESENTATIVE

Department of General Services
2000 14th Street NW, 8th Floor
Washington DC, 20009

ARCHITECT

cox grae + spack architects
2909 M Street NW
Washington DC 20007
T: 202.965.7070
F: 202.965.7144

CIVIL ENGINEER

Wiles Mensch Corporation
Address: 510 8th Street SE
Washington DC 20003
T: 202.436.9384

STRUCTURAL ENGINEER

Simpson Gumpertz & Heger Inc.
1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER

Setty & Associates International, PLLC
Address: 5155 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT

CGLA
1025 Connecticut Avenue NW, Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT

Councilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.894.1245

AV/IT/ACOUSTICS CONSULTANT

Polysonics
405 Belle Air Lane
Warrenton, VA 20186
T: 540.341.4988



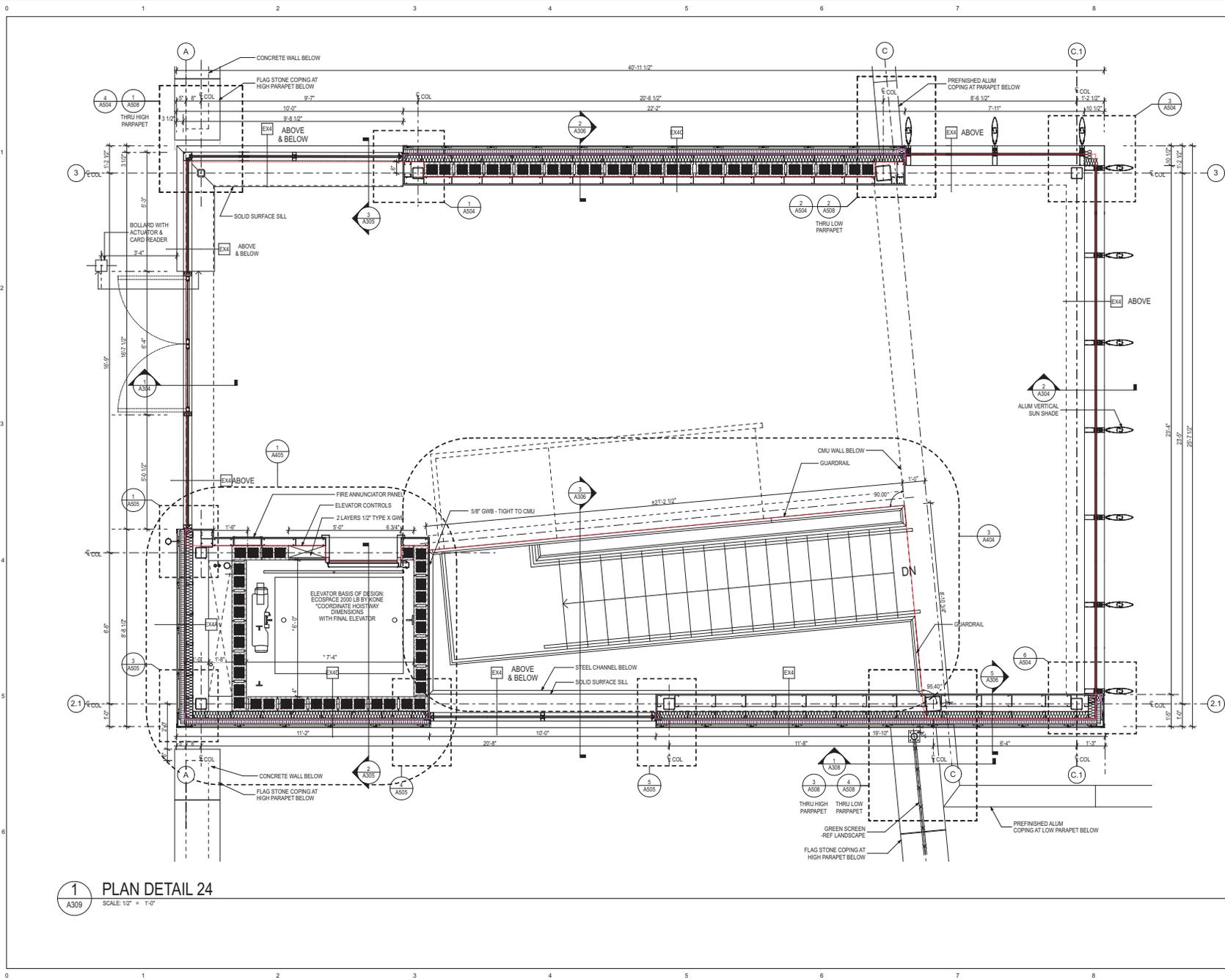
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Drawing Title:
BUILDING SECTIONS

Graphic Scale: 1/8" = 1'-0"

Project No: **1614** Date: **03/20/2019**

Drawing No: **A302**



1 PLAN DETAIL 24
 A309 SCALE: 1/2" = 1'-0"

PROJECT
 Heart Park + Pool
 3950 37th Street, NW
 Washington, DC 20008

OWNER'S REPRESENTATIVE
 Department of General Services
 2000 14th Street NW, 8th Floor
 Washington DC, 20009

ARCHITECT
 cox graae + spack architects
 2909 M Street NW
 Washington DC 20007
 T: 202.965.7070
 F: 202.965.7144

CIVIL ENGINEER
 Wiles Mensch Corporation
 Address: 510 8th Street SE
 Washington DC 20003
 T: 202.436.9384

STRUCTURAL ENGINEER
 Simpson Gumpertz & Heger Inc.
 1625 Eye Street NW, Suite 900
 Washington, DC 20006
 T: 202.239.4199

MPE ENGINEER
 Setty & Associates International, PLLC
 Address: 5155 MacArthur Blvd., Suite 220
 Washington, DC 20016
 T: 202.393.1523

LANDSCAPE ARCHITECT
 CGLA
 1025 Connecticut Avenue NW, Suite 1000
 Washington, DC 20036
 T: 202.857.9720

POOL CONSULTANT
 Councilman-Hunsaker
 10733 Sunset Office Dr., Suite 400
 St. Louis, MO 63127
 T: 314.894.1245

AV/IT/ACOUSTICS CONSULTANT
 Polysonics
 405 Belle Air Lane
 Warrenton, VA 20186
 T: 540.341.4988

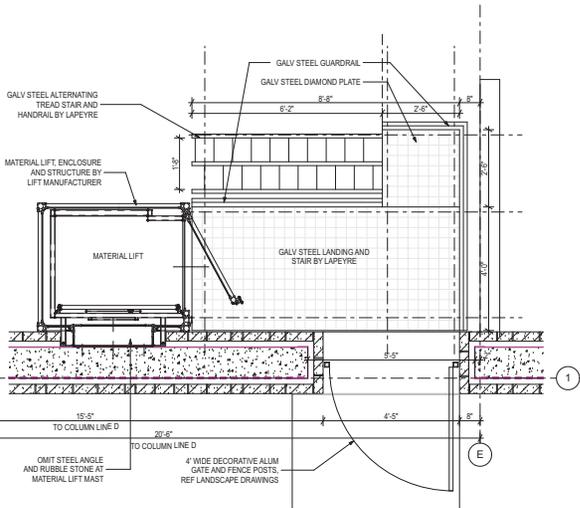


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Drawing Title:
 PLAN SECTIONS
 Graphic Scale:

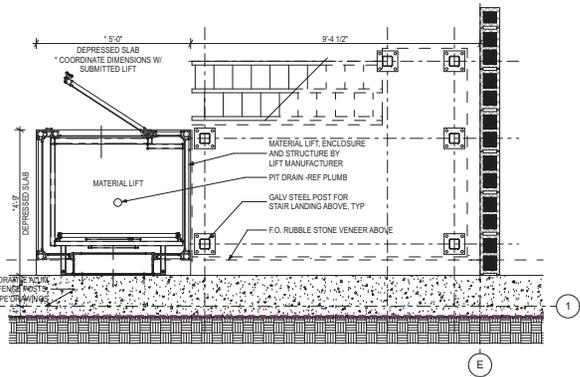
Project No: 1614
 Date: 03/20/2019
 Drawing No: A309





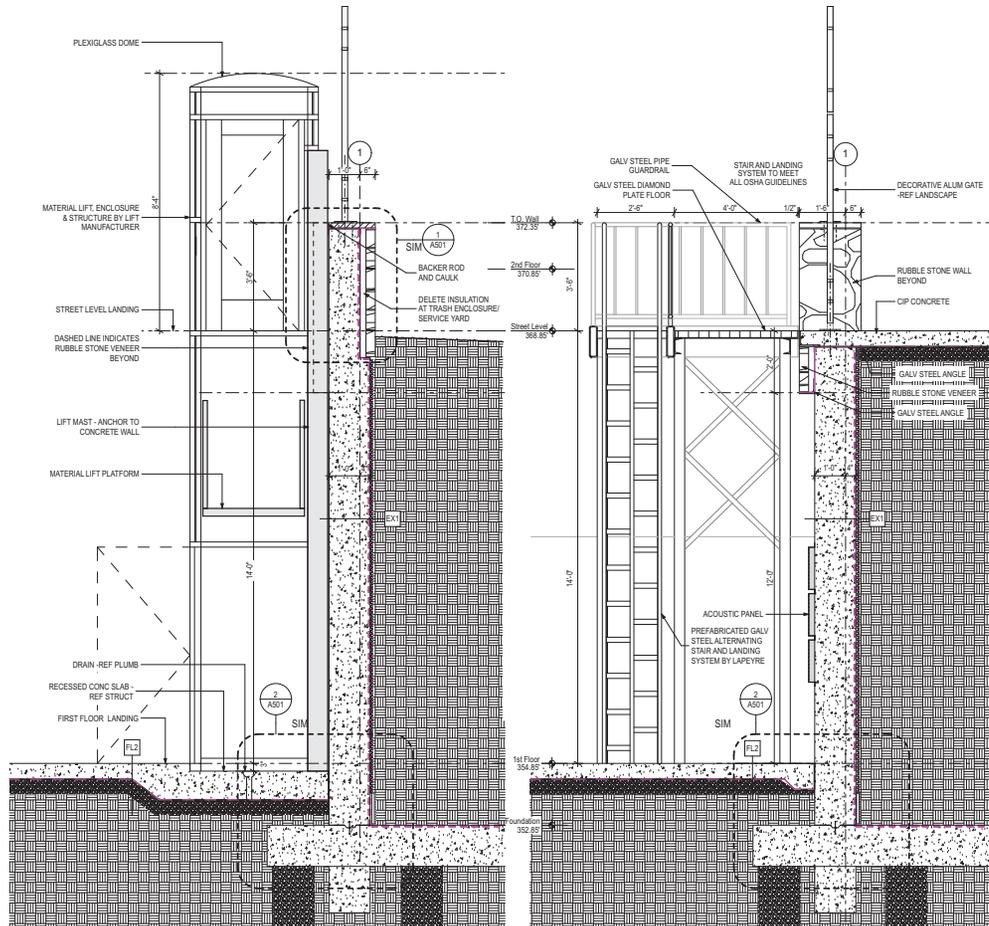
1 MATERIAL LIFT PLAN - 2ND FLOOR

A310 SCALE: 1/2" = 1'-0"



2 MATERIAL LIFT PLAN - 1ST FLOOR

A310 SCALE: 1/2" = 1'-0"



3 LIFT SECTIONS

A310 SCALE: 1/2" = 1'-0"

4 STAIR SECTION

A310 SCALE: 1/2" = 1'-0"

PROJECT

Hearst Park & Pool
3950 37th Street, NW
Washington, DC 20008

OWNER'S REPRESENTATIVE

Department of General Services
2000 14th Street NW, 8th Floor
Washington DC, 20009

ARCHITECT

cox graae + spack architects
2939 M Street NW
Washington DC 20007
T: 202.965.7070
F: 202.965.7144



CIVIL ENGINEER

Wiles Mensch Corporation
Address: 510 8th Street SE
Washington, DC 20003
T: 202.239.4199

STRUCTURAL ENGINEER

Simpson Gumpertz & Heger Inc.
1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER

Setty & Associates International, PLLC
Address: 5155 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT

CGLA
1025 Connecticut Avenue NW, Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT

Councilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.894.1245

AV/IT/ACOUSTICS CONSULTANT

Polysonics
405 Belle Air Lane
Warrenton, VA 20186
T: 540.341.4988



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Drawing Title:
WALL & PLAN SECTIONS

Graphic Scale:

Project No:
1614

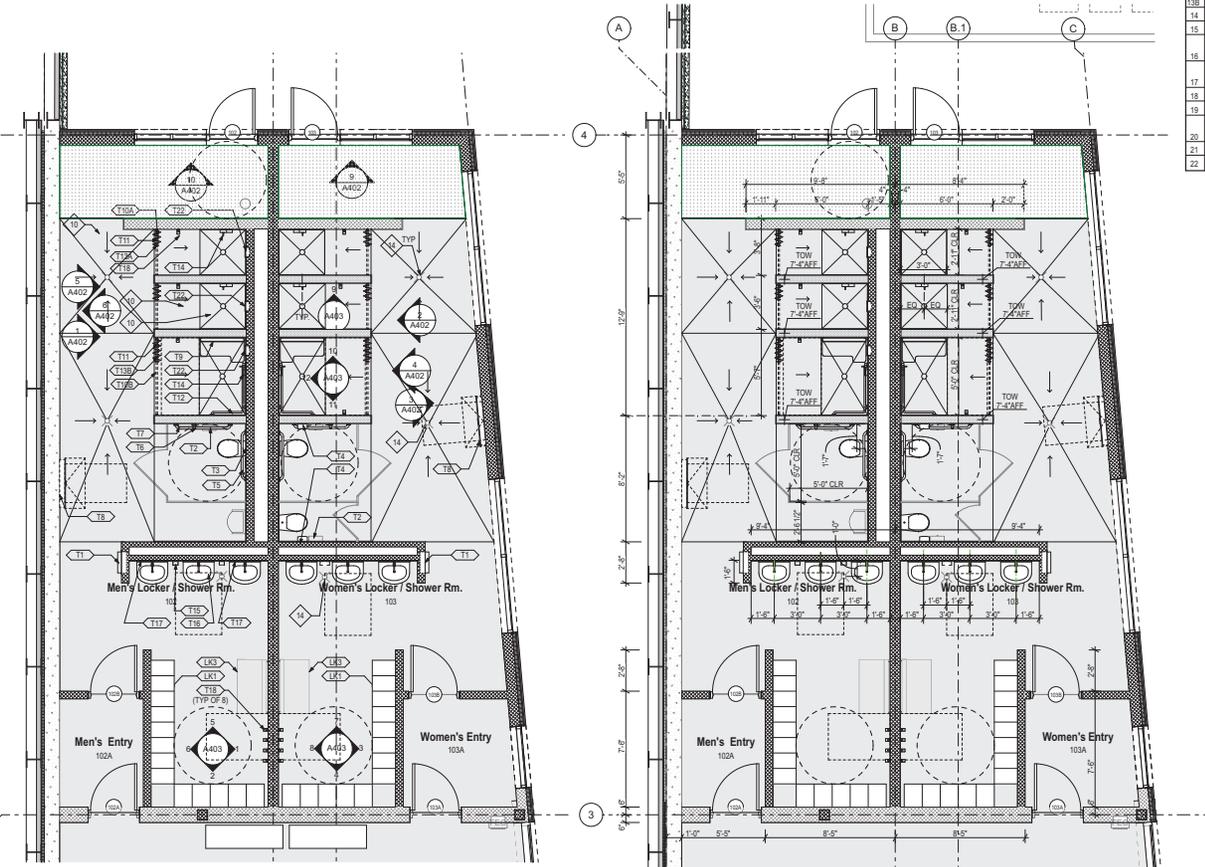
Date:
03/20/2019



Drawing No:
A310

RESTROOM ACCESSORIES

NO.	DESCRIPTION	MANU.	PRODUCT #	FINISH	DETAILS
1	RECESSED PAPER TOWEL DISPENSER - WASTE RECEPTACLE	BOBRICK	B-3844	S.S. SATIN	RECESSED RO 16"W X 54-3/4"H X 4"D
2	SURFACE-MOUNTED JUMBO ROLL TOILET PAPER DISPENSER	BOBRICK	B-2890	S.S. SATIN	SURFACE 10 3/4" H X 10 3/4" W X 4 1/2" D
3	NOT USED				
4	WALL MTD SANITARY NAPKIN DISPOSAL	BOBRICK	B-254	S.S. SATIN	SURFACE MTD 10 3/4" W X 15"H X 4-1/8" D
5	36" STRAIGHT GRAB BAR	BOBRICK	B-6806 X 36	S.S. SATIN	1-1/2"D
6	18" STRAIGHT GRAB BAR	BOBRICK	B-6806 X 18	S.S. SATIN	1-1/2"D
7	42" STRAIGHT GRAB BAR	BOBRICK	B-6806 X 42	S.S. SATIN	1-1/2"D
8	BABY CHANGING STATION	KOALA KARE	KB110-SSWM	S.S. SATIN	WALL MOUNTED 35-1/4"W X 20"H X 4"D
9	FOLDING SHOWER SEAT	89F616	PHENOLIC & BERRIES	S.S. SATIN	ERGONOMIC SOLID PHENOLIC FOLDING SHOWER SEAT (HANGING TO BE COORDINATED)
10A	36" SHOWER CURTAIN ROD	BOBRICK	D6047-66	S.S. SATIN	1 1/4" DIA FOR USE IN STANDARD SHOWERS
10B	60" SHOWER CURTAIN ROD	BOBRICK	D6047-60	S.S. SATIN	1 1/4" DIA FOR USE IN ADA SHOWERS
11	SHOWER CURTAIN HOOKS	BOBRICK	204-1	304 S.S.	COORD QTY WITH T10A & T10B REQUIREMENTS
12	TWO-WALL SHOWER GRAB BAR	BOBRICK	B-68616	S.S. SATIN	HORIZONTAL TUB / SHOWER COMPARTMENT BAR ADA COMPLIANT 24" X 36"
13A	SHOWER CURTAIN	BOBRICK	204-2	MATTE WHITE VINYL	62" W X 72" H SHOWER CURTAIN FOR USE W 10A ROD, STANDARD SHOWER
13B	SHOWER CURTAIN	BOBRICK	204-3	MATTE WHITE VINYL	70" W X 72" H SHOWER CURTAIN FOR USE W 10B ROD, ADA SHOWERS
14	SHOWER FAUCET				SEE PLUMBING SCHEDULE
15	SURFACE MTD SOAP DISPENSER	BOBRICK	B-2112	S.S. SATIN	SURFACE MTD 8-1/8" W X 4-3/4" H X 3-1/2" D
16	FIXED POSITION TLT MIRROR	BOBRICK	B-293 2436	S.S. & PLATE GLASS	ADA COMPLIANT 24"W X 36"H
17	MIRROR	BOBRICK	B-293 2436	S.S. & PLATE GLASS	24"W X 36"H
18	COAT/TOWEL HOOK	TRIMCO	3071-1	SATIN S.S.	SEE ALSO TOILET PARTITIONS FOR ADDITIONAL
19	NOT USED				
20	PAPER TOWEL DISPENSER - SURFACE MOUNT	BOBRICK	B-262	S.S. SATIN	COORDINATE W LIFE/GARD ROOM MILLWORK
21	MOP RACK	BOBRICK	B-239	S.S. SATIN	UTILITY SHELF W BROOM HOLDERS & HOOKS
22	SOAP DISPENSER - RECESSED	BOBRICK	B-306	S.S. SATIN	FOR INSTALL IN SHOWERS



1 Enlarged Restroom/Locker Room Plan - Notes
SCALE: 1/4" = 1'-0"

2 Enlarged Restroom/Locker Room Plan - Dims
SCALE: 1/4" = 1'-0"

RESTROOM GENERAL NOTES

- A. REFERENCE REFLECTED CEILING PLANS FOR CEILING HEIGHTS, FINISHES AND LIGHTING LAYOUT.
- B. REFERENCE FINISH AND MATERIAL SCHEDULES FOR ROOM FINISH INFORMATION.
- C. REFERENCE SHEET A802 WITH MOUNTING HEIGHTS FOR ACCESSORY INFORMATION. ALL WALL MOUNTED ACCESSORIES SHALL MEET ADA COMPLIANCE.
- D. PROVIDE BLOCKING AT WALL-MOUNTED DEVICES AND ACCESSORIES.
- E. SLOPE FLOORS TO DRAIN IN ROOMS CONTAINING A FLOOR DRAIN. REFERENCE PLUMBING SHEETS.
- F. INTERIOR ELEVATIONS, FINISHES AND ACCESSORIES TYPICAL FOR ALL BATHROOMS.
- G. PROVIDE ADA COMPLIANT PIPE WRAP AT ALL EXPOSED PIPING BELOW LAVS.

INTERIOR DETAIL KEYED NOTES

1. FLAM BASE AND WALL CABINETS.
2. LINE OF OVERHANG ABOVE.
3. SHEETING AND SHORING, REFER STRUCTURAL DRAWINGS.
4. EXTERIOR RATED LIFT.
5. ALTERNATING TREAD STAIR, GALV, PTD.
6. SUMP PUMP PIT.
7. STEEL STAIR WITH CONCRETE TREADS IN STEEL PANS.
8. ADA ACCESSIBLE SINK AND COUNTER TOP.
10. SLOPE CONCRETE TO FLOOR DRAIN 1/8" PER 12"
11. DBL HEIGHT SS LOCKERS. SEE FINISHES SCH FOR SIZED
12. WALK OFF MAT.
13. DRINKING FOUNTAIN
14. FLOOR DRAIN

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Department of General Services
2000 14th Street NW, 8th Floor
Washington DC, 20009

ARCHITECT

cox graae + spack architects
2909 M Street NW
Washington DC 20007
T: 202.965.7070
F: 202.965.7144

CIVIL ENGINEER

Wiles Mensch Corporation
Address: 510 8th Street SE
Washington DC 20003
T: 202.436.9584

STRUCTURAL ENGINEER

Simpson Gumpertz & Heger Inc.
1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER

Setty & Associates International, PLLC
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Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT

CGLA
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Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT

Councilman-Hunsaker
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Drawing Title:
ENLARGED LOCKER ROOMS PLAN

Graphic Scale: 1/4" = 1'-0"

Project No: **1614** Date: **03/20/2019**

Drawing No: **A401**